



Your **nearshore partner** in Mexico

Sendero Industrial Park

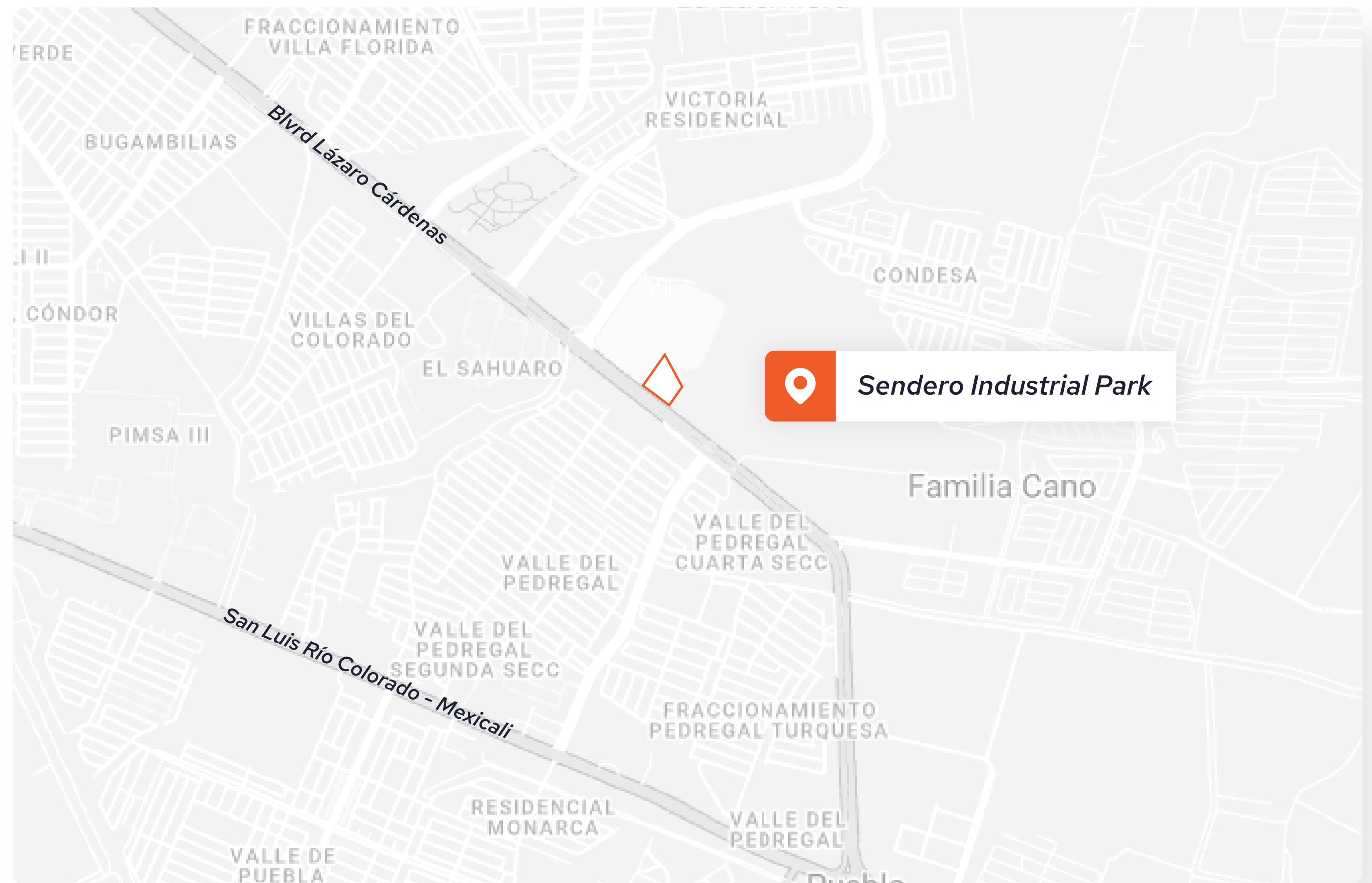


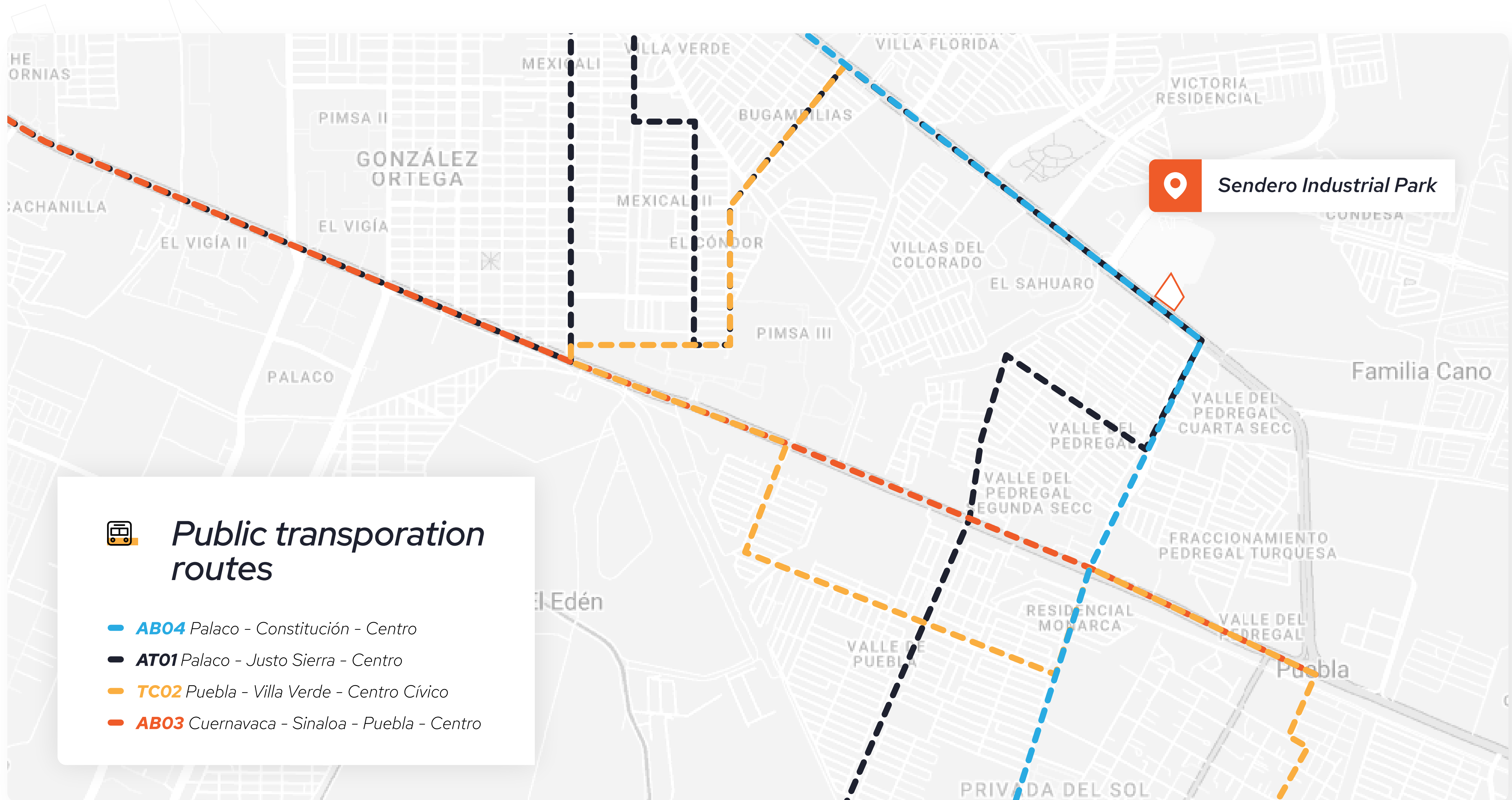


Location

Sendero Industrial Park's strategic location on **Bld. Lázaro Cárdenas** in Mexicali offers easy access to the workforce, commercial port of entry, major highways, and airports.

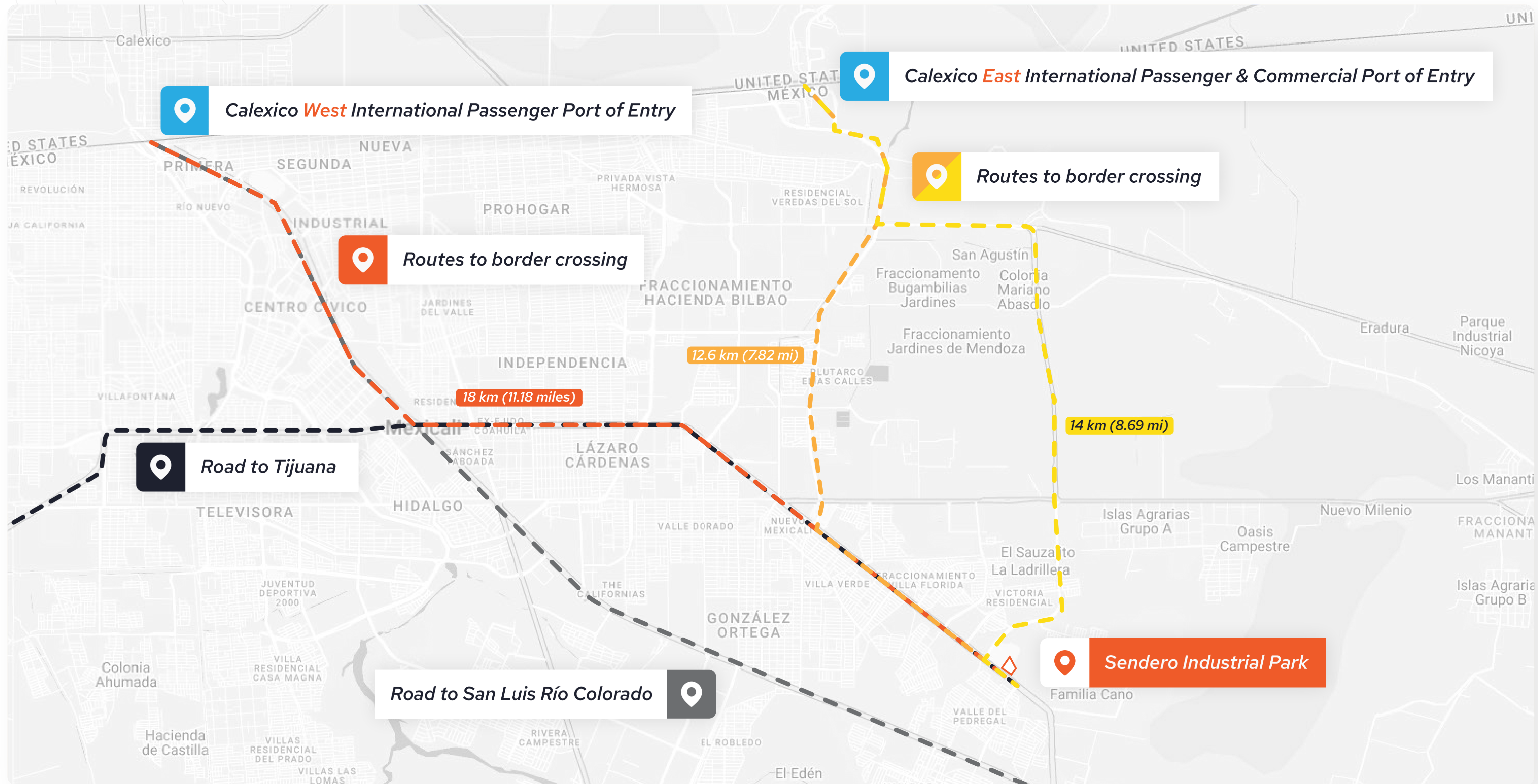
Its convenient location enhances logistical efficiency and facilitates international trade opportunities.



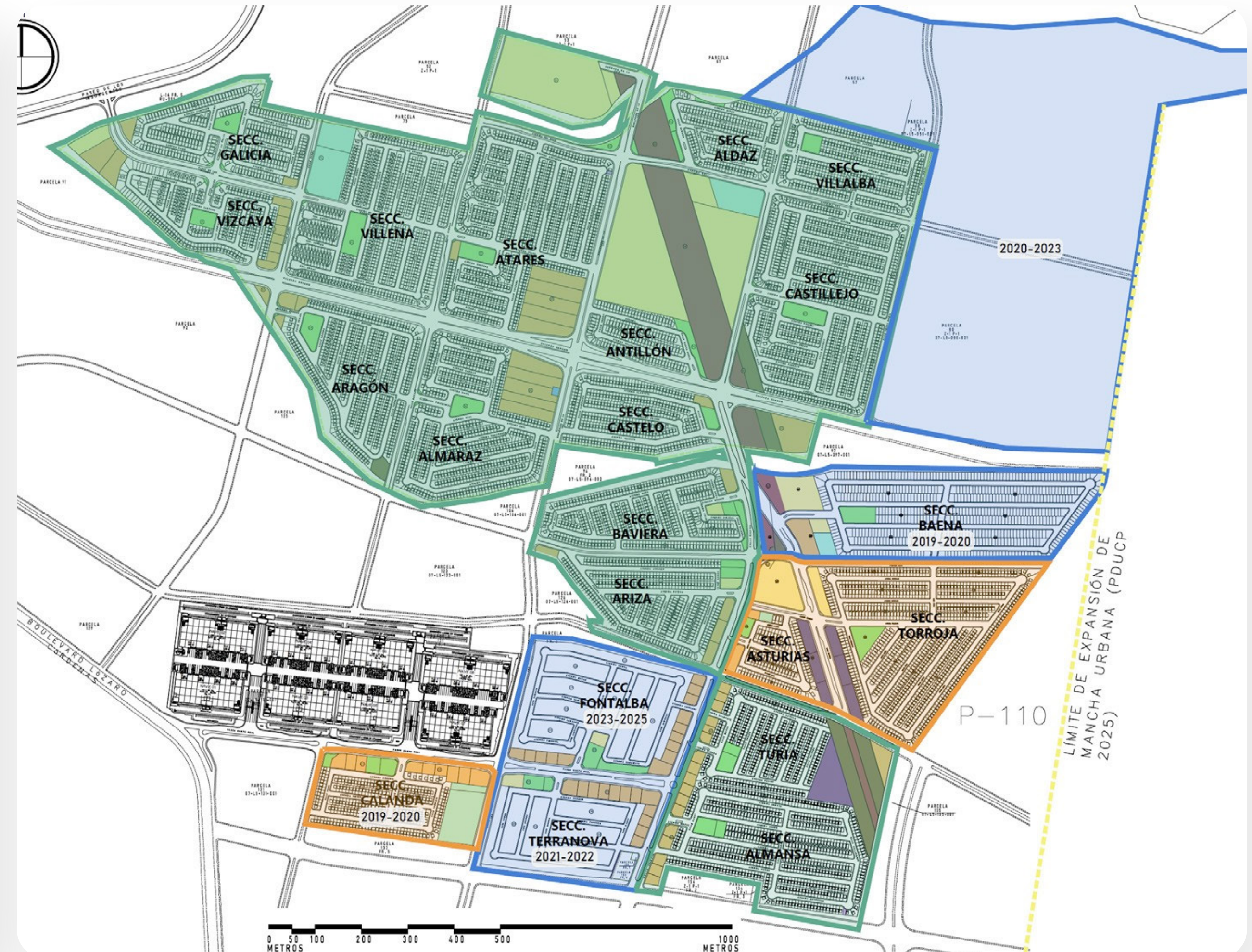
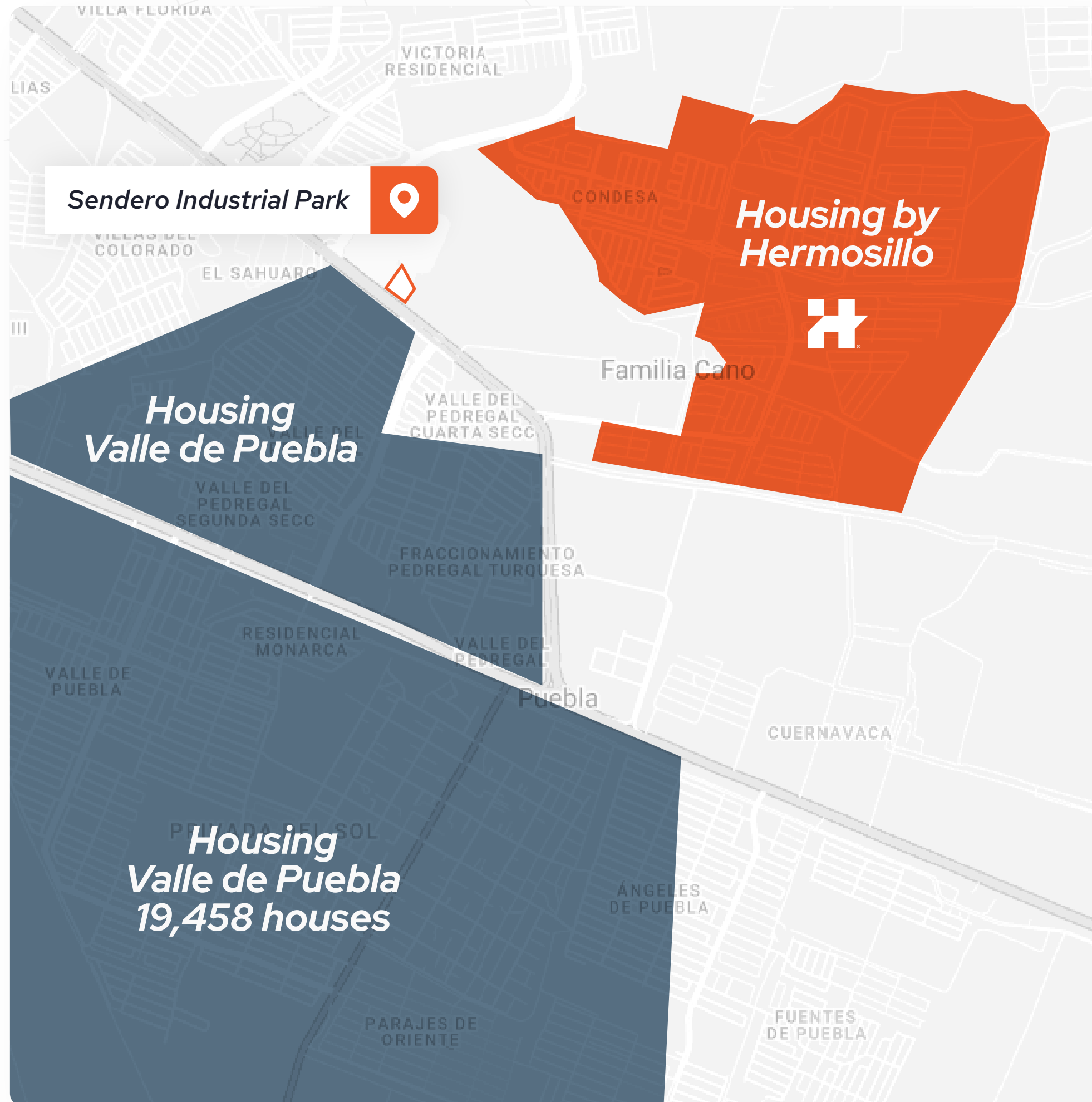


Public transportation routes

- **AB04** Palaco - Constitución - Centro
- **AT01** Palaco - Justo Sierra - Centro
- **TC02** Puebla - Villa Verde - Centro Cívico
- **AB03** Cuernavaca - Sinaloa - Puebla - Centro



Housing development by **Hermosillo**, currently an increasing amount of **13,000 homes**.



Sendero Industrial Park



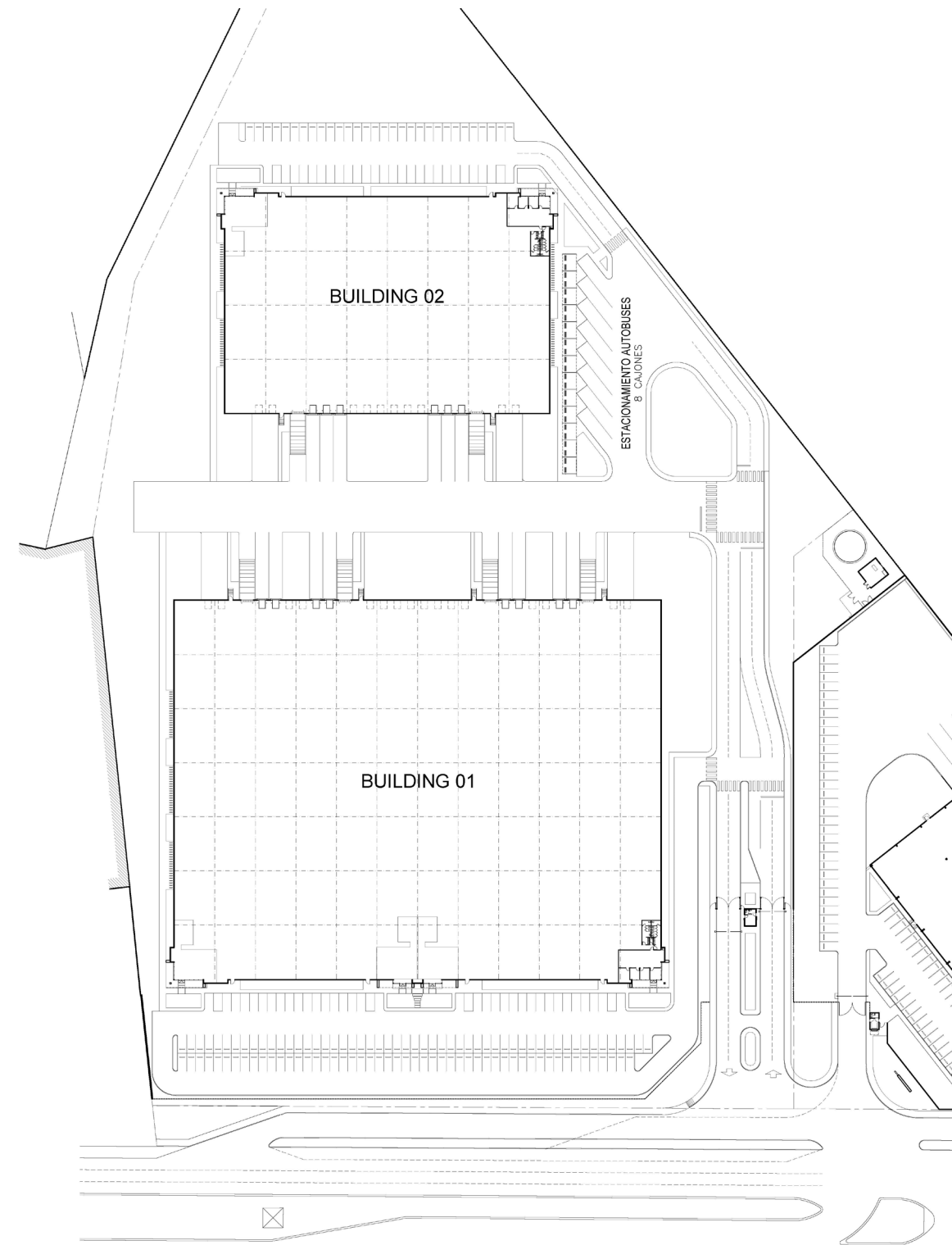
Sendero Industrial Park



174,013 sq. ft | MULTITENANT BUILDING
Versatile to adapt to the needs of our clients



INDUSTRIAL PARK Specification



INDUSTRIAL PARK SERVICES

Services

- City water 2" incoming domestic piping available
- Sanitary drainage 6" discharged piping available
- Electrical power. KVA's upon demand by the tenant
- Telephone services; available at the building boundary
- Street lighting
- Public transportation stops

Security Post and Gate

- Vehicular and pedestrian access shared with different tenants
- Metallic structure, metal sheet roof, flattened block walls, finish concrete floor, exterior walls painting, reinforced concrete access and perimetral sidewalks (100.7 sq. ft.), metallic fence, automatic access arm. Security post to be equipped with AC unit, single stall toilet facility, electrical and data lines

Fire Protection System

- Central fire system of the industrial park shared with each park building
- Water storage tank bolted steel awwa d103-97, 100 mph wind load, seismic zone 4
- Fire pumps (horizontal centrifugal split case diesel UL listed/FM Approved, suction & discharge pressure gauge, air relief valve, diesel battery kit, fire pump panel pressure maintenance jockey.

Perimetral Fence

- Block fence in adjoining with private property
- Decorative fence in adjoining with public road

Land area | 76,293 m²

Land area for project | 58,325.00 m²

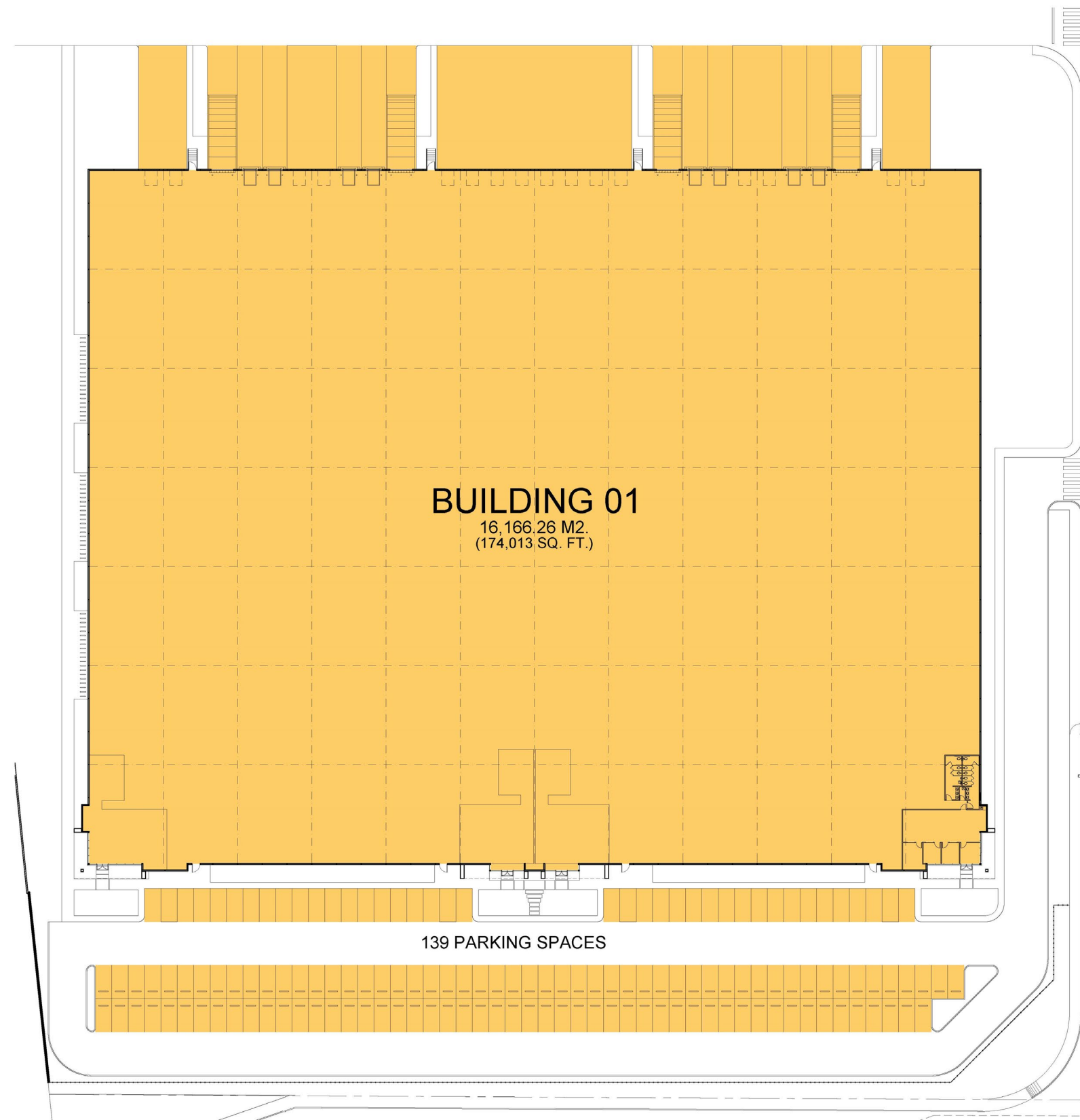
Total, rent area | 22,333.76 m² (240,400.60 sq ft)

HIP 120 - 01 | 16,166.26 m² (174,013 sq ft) - 4 modules

HIP 120 - 02 | 6,167.50 m² (66,387 sq ft) - 2 modules

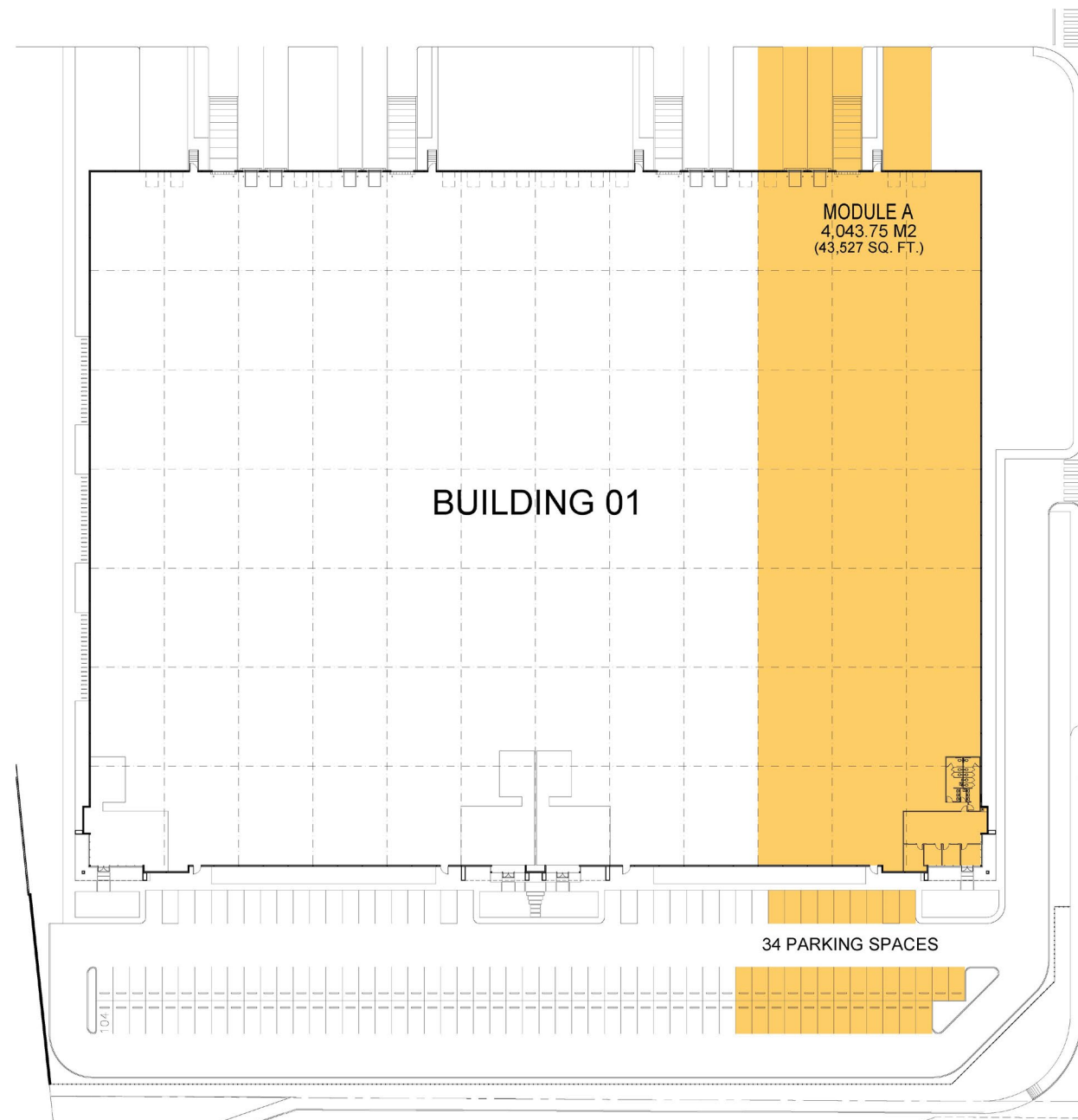
174,013 sq. ft | MULTITENANT BUILDING

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Basic Shell Specification

BUILDING 01 MODULE A



BUILDING SHELL SPECIFICATION

Building Shell

- 43,527 square feet, 4,043.75 square meters

Structure

- Rigid steel frame. UBC zone 4 compliant
- Bay spacing: 39'-4" ft x 49'-2" ft (12.00 x 15.00 m)
- Minimum clear height: 30 ft (9.14m)

Wall construction

- Tilt up

Roof

- KR-18 standing seam metal gage 24. Fiberglass insulation R-19
- Concrete Floors
- Max 5% Skylight

Concrete Floors

- 6" Reinforced Concrete Slab 3,555 psi shall be sealed with a hardener Ashford formula or similar.

Loading Docks and ramps

- Loading docks: 2 docks (9 ft x 10 ft) with 30,000 LBS capacity
- Ramps: 1 ramp 12 ft x 14 ft.

Lighting

- Interior lighting 300 lux (30 FC)

Electrical substation

- 150 KVA'S

Fire Protection System

- Wall hydrants and fire hose racks in production and warehouse area

OFFICE SPECIFICATION

Office Space

- 100.00 sq m (1,076.40 sq. ft.)

Office Specifications

- Drywall cubicles insulated with R-11 fiberglass
- 2'x 2' drop ceiling shadow line
- Wall painting
- Ceramic tile on floor
- HVAC Ambient temperature 77 ± 3F
- Electrical installation
- Interior lighting 500 lux (50 FC)
- Channeling for voice and data outputs sprinkler fire protection system
- Sprinkler protection system

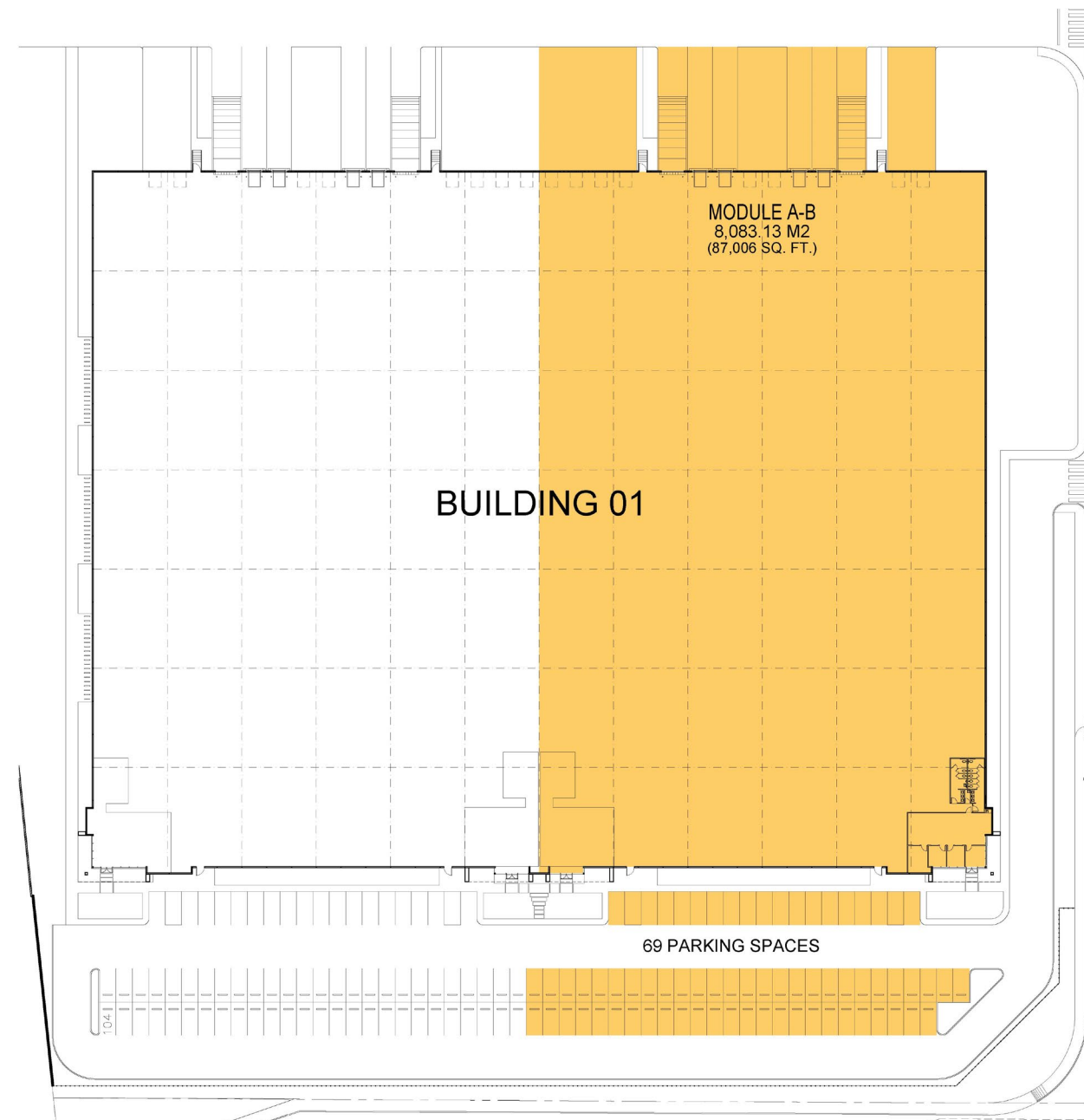
EXTERIOR SPECIFICATION

Outside area

- Automotive parking: 34 paved parking spaces

Basic Shell Specification

BUILDING 01 MODULE A and B



BUILDING SHELL SPECIFICATION

Building Shell

- 87,006 square feet, 8,083.13 square meters

Structure

- Rigid steel frame. UBC zone 4 compliant
- Bay spacing: 39'-4" ft x 49'-2" ft (12.00 x 15.00 m)
- Minimum clear height: 30 ft (9.14m)

Wall construction

- Tilt up

Roof

- KR-18 standing seam metal gage 24. Fiberglass insulation R-19
- Concrete Floors
- Max 5% Skylight

Concrete Floors

- 6" Reinforced Concrete Slab 3,555 psi shall be sealed with a hardener Ashford formula or similar.

Loading Docks and ramps

- Loading docks: 4 docks (9 ft x 10 ft) with 30,000 LBS capacity
- Ramps: 2 ramp 12 ft x 14 ft.

Lighting

- Interior lighting 300 lux (30 FC)

Electrical substation

- 150 KVA'S

Fire Protection System

- Wall hydrants and fire hose racks in production and warehouse area

OFFICE SPECIFICATION

Office Space

- 100.00 sq m (1,076.40 sq. ft.)

Office Specifications

- Drywall cubicles insulated with R-11 fiberglass
- 2'x 2' drop ceiling shadow line
- Wall painting
- Ceramic tile on floor
- HVAC Ambient temperature 77 ± 3F
- Electrical installation
- Interior lighting 500 lux (50 FC)
- Channeling for voice and data outputs sprinkler fire protection system
- Sprinkler protection system

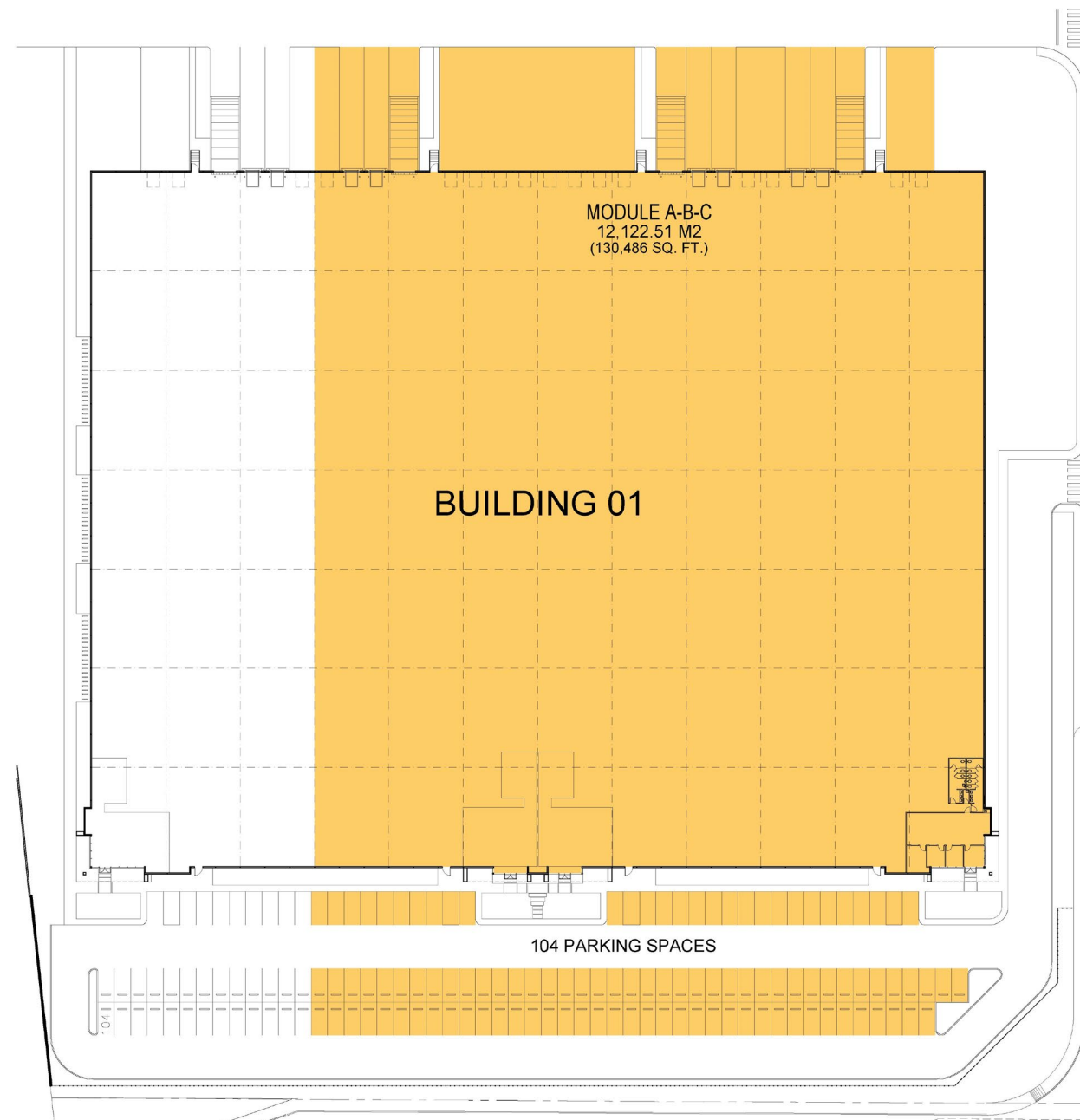
EXTERIOR SPECIFICATION

Outside area

- Automotive parking: 69 paved parking spaces

Basic Shell Specification

BUILDING 01 MODULE A,B and C



BUILDING SHELL SPECIFICATION

Building Shell

- 130,486 square feet, 12,122.51 square meters

Structure

- Rigid steel frame. UBC zone 4 compliant
- Bay spacing: 39'-4" ft x 49'-2" ft (12.00 x 15.00 m)
- Minimum clear height: 30 ft (9.14m)

Wall construction

- Tilt up

Roof

- KR-18 standing seam metal gage 24. Fiberglass insulation R-19
- Concrete Floors
- Max 5% Skylight

Concrete Floors

- 6" Reinforced Concrete Slab 3,555 psi shall be sealed with a hardener Ashford formula or similar.

Loading Docks and ramps

- Loading docks: 6 docks (9 ft x 10 ft) with 30,000 LBS capacity
- Ramps: 3 ramp 12 ft x 14 ft.

Lighting

- Interior lighting 300 lux (30 FC)

Electrical substation

- 150 KVA'S

Fire Protection System

- Wall hydrants and fire hose racks in production and warehouse area

OFFICE SPECIFICATION

Office Space

- 100.00 sq m (1,076.40 sq. ft.)

Office Specifications

- Drywall cubicles insulated with R-11 fiberglass
- 2'x 2' drop ceiling shadow line
- Wall painting
- Ceramic tile on floor
- HVAC Ambient temperature 77 ± 3F
- Electrical installation
- Interior lighting 500 lux (50 FC)
- Channeling for voice and data outputs sprinkler fire protection system
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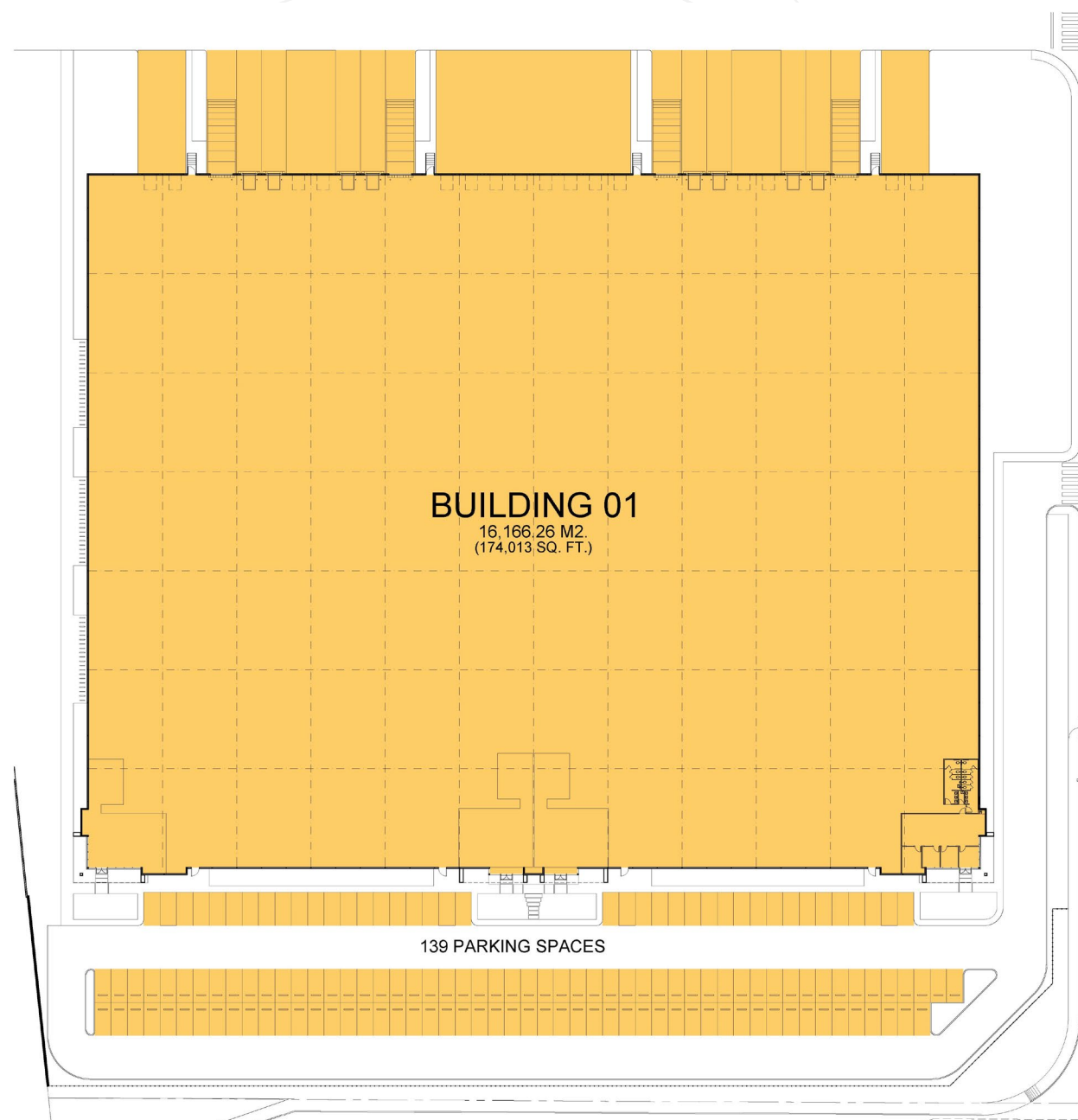
EXTERIOR SPECIFICATION

Outside area

- Automotive parking: 104 paved parking spaces

BUILDING 01

MODULE A,B,C and D



BUILDING SHELL SPECIFICATION

Building Shell

- 174,013 square feet, 16,166.26 square meters

Structure

- Rigid steel frame. UBC zone 4 compliant
- Bay spacing: 39'-4" ft x 49'-2" ft (12.00 x 15.00 m)
- Minimum clear height: 30 ft (9.14m)

Wall construction

- Tilt up

Roof

- KR-18 standing seam metal gage 24. Fiberglass insulation R-19
- Concrete Floors
- Max 5% Skylight

Concrete Floors

- 6" Reinforced Concrete Slab 3,555 psi shall be sealed with a hardener Ashford formula or similar.

Loading Docks and ramps

- Loading docks: 8 docks (9 ft x 10 ft) with 30,000 LBS capacity
- Ramps: 4 ramp 12 ft x 14 ft.

Lighting

- Interior lighting 300 lux (30 FC)

Electrical substation

- 150 KVA'S

Fire Protection System

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OFFICE SPECIFICATION

Office Space

- 100.00 sq m (1,076.40 sq. ft.)

Office Specifications

- Drywall cubicles insulated with R-11 fiberglass
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- Wall painting
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EXTERIOR SPECIFICATION

Outside area

- Automotive parking: 104 paved parking spaces



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